

River Heights City

River Heights City Planning Commission
Minutes of the Meeting
April 7, 2015

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5 Present: Commission members: Rex Davidsavor, Chairman
6 Mark Malmstrom
7 Danny Petersen
8 Jim Royle
9 Patti Seeholzer
10
11 Councilmember Blake Wright
12 Recorder Sheila Lind
13 Public Works Director Clayton Nelson
14
15 Excused Commissioner Nina Knowles
16
17 Others Present: Kelina Heath, Dan Hogan, Dan Turner,
18

19 Motions made During the Meeting
20

21 Motion #1

22 Commissioner Seeholzer moved to “approve the minutes of the March 19, 2015
23 Commission Meeting, with one change.” Commissioner Petersen seconded the motion, which
24 carried.
25

26 Motion #2

27 Commissioner Malmstrom moved to “accept the Conditional Use Permit request from
28 Kalina Heath, according to her original application she has made with the city.” Commissioner
29 Royle seconded the motion, which carried.
30

31 Motion #3

32 Commissioner Malmstrom moved to “approve the Saddle Rock Phase 2 Final Plat with
33 Engineer Rasmussen’s recommendations, plus a temporary turn around on 400 South and grass
34 in the retention pond, rather than rock.” Commissioner Seeholzer seconded the motion, which
35 carried.
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37
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Proceedings of the Meeting

The River Heights City Planning Commission met at 7:00 p.m. in the Ervin R. Crosbie Council Chambers on April 7, 2015.

Mark Malmstrom was introduced as a new member of the Commission, to take the place of Commissioner Davidsavor.

Adoption of Prior Minutes: Minutes for the March 19, 2015 Planning Commission Meeting were reviewed. On line 94, the time was changed from 8:10 to 5:10.

Commissioner Seeholzer moved to “approve the minutes of the March 19, 2015 Commission Meeting, with one change.” Commissioner Petersen seconded the motion, which carried.

Discuss a Conditional Use Permit Request from Kelina Heath for a Preschool in Her Home at 407 E 500 S: Commissioner Davidsavor stated he received one written comment, which was in favor of the preschool. There was no public in attendance. Kelina Heath said she is currently a kindergarten teacher and would like to stay home and run a preschool. She plans on 16 children with 2 teachers (the state allows 8 children per teacher). Mr. Davidsavor asked how she would control the traffic. Ms. Heath said she will let parents know they need to come down her street from the east. Teachers will meet them at the car door to unload and load the children, so parents won’t need to stop longer than a minute, or even get out of the car. She plans to work only Tue, Wed and Thu and teach 3 year olds in the mornings from 9:00 to 11:30am and 4 year-olds in the afternoon from 1:00 to 3:30pm. If she has outside activities she will take them to the park since her yard isn’t very big. Her focus will be indoors, preparing children for kindergarten. She has checked with the state; they said she doesn’t need to be licensed unless she has the same children for four hours per day.

Kelina Heath informed that she will apply for less than she requested on her permit since she doubts she’ll have the maximum number of children when she first gets started. The Commission suggested she actually ask for the amount of sessions she requested on her application, which will prevent her from needing to reapply when/if her business picks up.

Commissioner Davidsavor recommended she look into insurance before she gets started. Ms. Heath agreed.

Commissioner Malmstrom moved to “accept the Conditional Use Permit request from Kalina Heath, according to her original application she has made with the city.” Commissioner Royle seconded the motion, which carried.

Conditions as listed on Kelina Heath’s application:

1. Two sessions per day, Monday – Friday.
2. Session times: 9:00 am – 11:30 am and 1:00 pm – 3:30 pm.
3. Maximum of 15 students per class.
4. Cars will enter her home on 500 South, from the east.

- 77 5. Employees will load and unload children from cars to move cars through quicker.
78 6. If parking is needed, it will be in her driveway.

79 Review Saddle Rock Phase 2 Final Plat: Commissioner Davidsavor explained that the
80 water board received their proposal. They are concerned because their plan didn't work last
81 year. Dan Turner said it will work this year because they will finish building the system with this
82 phase.

83 Commissioner Davidsavor reviewed each of Engineer Rasmussen's comments. Dan
84 Turner gave clarification and answered questions.

85 Councilmember Wright asked about the setbacks. All the lots show setbacks for an R-1-
86 10 zone. One of Engineer Rasmussen's comments address the fact that the development
87 covers an R-1-10 zone, as well as an R-1-12 zone. He was fine with the setbacks shown on the
88 plat since they would each need to comply before a Zoning Clearance Permit was issued. Mr.
89 Wright would like to see the plat show the correct setbacks so there won't be any question.
90 Dan Turner will alert the surveyor to increase the setbacks on the R-1-12 lots.

91 Commissioner Petersen asked why they didn't show a turnaround on 400 South. Dan
92 Turner said the length of road is less than the 400 feet required by the fire department. PWD
93 Nelson said the city needs a temporary turnaround on both of the streets for snow removal
94 purposes. Dan Turner said it wouldn't be a problem to show them on the plat.

95 PWD Nelson is hoping the retention pond will be filled in with grass, rather than rocks.
96 Dan Hogan said that will be fine. Dan Turner will note that as a plat change, as well.

97 **Commissioner Malmstrom moved to "approve the Saddle Rock Phase 2 Final Plat with**
98 **Engineer Rasmussen's recommendations, plus a temporary turn around on 400 South and**
99 **grass in the retention pond, rather than rock." Commissioner Seeholzer seconded the**
100 **motion, which carried.**

101 They will plan to be at the next Council meeting for approval.

102 Discuss Councilmember Wilson's Request to Change the General Plan to Reflect the Old
103 Church Property as Parks and Recreation Zone: Councilmember Wright explained that the
104 Council is considering taking the old church down. Councilmember Wilson would like the
105 property to eventually become an extension of the city park, which is why she wants it zoned as
106 such in the General Plan. By so doing, future Council's may not be as tempted to sell it as
107 residential lots.

108 Commissioner Petersen asked if 500 East would be closed, between 400 and 500 South,
109 if became a park. Councilmember Wright said this hadn't been discussed. Councilmember
110 Wilson's main desire is for the city to retain the property. Mr. Petersen suggested leaving the
111 General Plan, showing it as a residential zone; while the city owns it they can have grass
112 without changing the zone. In the future, if the city decides to sell it, they won't need to go
113 through this process of changing the General Plan again. Mr. Wright explained that

114 Councilmember Wilson was hoping to apply for RAPZ money to help fund the demolition, which
115 would require the property to be zoned for parks.

116 Commissioner Petersen stated there are companies that would take the building down
117 for no charge, to be able to salvage the materials. He hopes the city looks into this option so it
118 won't be as costly as they project.

119 Councilmember Wright said if the Commission doesn't want to go ahead with the zone
120 change they can respond to Councilmember Wilson in that manner.

121 Commissioner Malmstrom asked, if they go through with the General Plan change,
122 would it cost the city more than office time and the Commission's time. If not, he suggested
123 going ahead with it. It can be changed again, in the future, if needed.

124 Councilmember Wright suggested tabling a decision until the next meeting, in hopes
125 that Councilmember Wilson could attend and explain herself. Commissioner Davidsavor
126 suggested having the first public hearing at that meeting too, to notify the public that the city
127 intends to modify the General Plan.

128 Solar Ordinance Discussion: Commissioners Davidsavor and Malmstrom have looked at
129 the suggested website, which helps cities draft their own solar ordinance. They discussed a
130 little of what they found out. Mr. Davidsavor suggested waiting until Commissioner Knowles
131 could be in attendance since she has been the one working on this.

132 Commissioner Davidsavor brought up the potential difficulty regulating solar panel
133 right-of-ways. Commissioner Malmstrom explained that, as an arborist by profession, he has
134 had to deal with this in his business some. It gets awkward when solar panel owners are upset
135 with neighbor's trees that have grown to where they block part of the sun from their panels.
136 Commissioner Petersen feels property owners should still be able to plant trees if their
137 neighbor has solar panels. Mr. Davidsavor hopes panel placement would be considered.

138 Councilmember Wright asked if Commissioner Davidsavor would attend and chair the
139 next meeting on the 21st. He agreed. After this meeting, the Commission will need to elect a
140 new chairman.

141 The meeting adjourned at 8:00 p.m.

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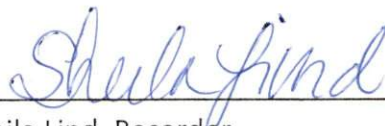
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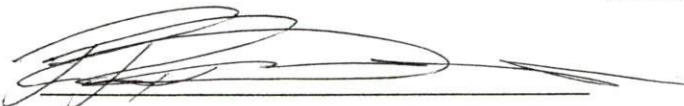
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Sheila Lind, Recorder



R. Rex Davidsavor, Chairman

River Heights City
Conditional Use Application

For office use	
Date Received	<u>3/5/15</u>
Receipt #	<u>VISA-attached</u>
Hearing Date	<u>Apr 7</u>
Approved	_____ Denied _____

Please fill out all applicable information.

1. APPLICANT

Name: Kelina Heath
Mailing Address: 407 E. 500 S. River Heights, Ut. 84321
Phone # (435) [REDACTED] Fax #: _____ e-mail: kelina.heath@gmail.com
Please check one of the following: owner ___ buyer ___ renter ___ agent ___ other

2. PROJECT INFORMATION

Name: Learn & Play Pre-K
Address/Location: 407 E. 500 S. River Heights, Ut. 84321
Property Tax ID: 02-016-0028 Existing zone: R-1-8
What is the current use of the property? residential
How many employees will be working at this location including applicant, immediate family members, and non-family members? 4
How many vehicles will be coming and going daily, weekly, or monthly? 8-12 (depending on # of students)

I agree to abide by the River Heights City Parking Ordinance (10-13). Initial KKH

I agree to abide by the River Heights City Sign Ordinance (10-14). Initial KKH

Description of Request: I plan to open a preschool that will run for 2 1/2 hours Mon. - Fri. If I have a large enough number of interested students, it could be 2 sessions each day. Those hours would be 9:00 AM - 11:30 AM (and 1:00 - 3:30 pm) if needed for larger class size. There will be 15 students max. in each class. To help with traffic, parents will be directed to enter the block on 5th South from the East side. Employees will be outside waiting to quickly assist the children out of the car and into the preschool to alleviate need for

[REDACTED]

April 2, 2015

Rex Davidsavor
Commission Chair
Planning Commission
River Heights City
520 S 500 E
River Heights UT 84321

Dear Chairman Davidsavor:

This letter is in response to the letter dated March 26, 2015, from River Heights City which my husband and I recently received re: Kelina Heath's application for a Conditional Use Permit. She is requesting to offer a preschool in her home to up to 15 students per class.

Richard and I wish to offer our full support for Ms. Heath's request. We feel that it is a wonderful opportunity when a young mother wishes to be a stay-at-home parent and yet be able to contribute financially to the family's income.

Some in the community may be concerned about the increase in traffic; however, the drop-off and pick-up times listed in the letter sent to us are at times of very low traffic on 500 South and 400 East, and we do not feel would cause any significant inconvenience.

Thank you for the opportunity to comment.

Sincerely,

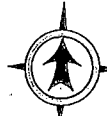
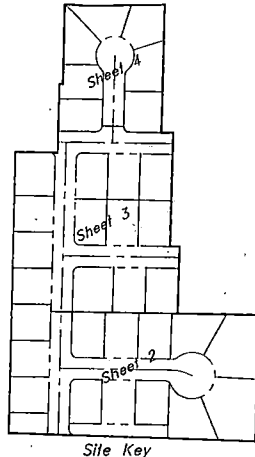
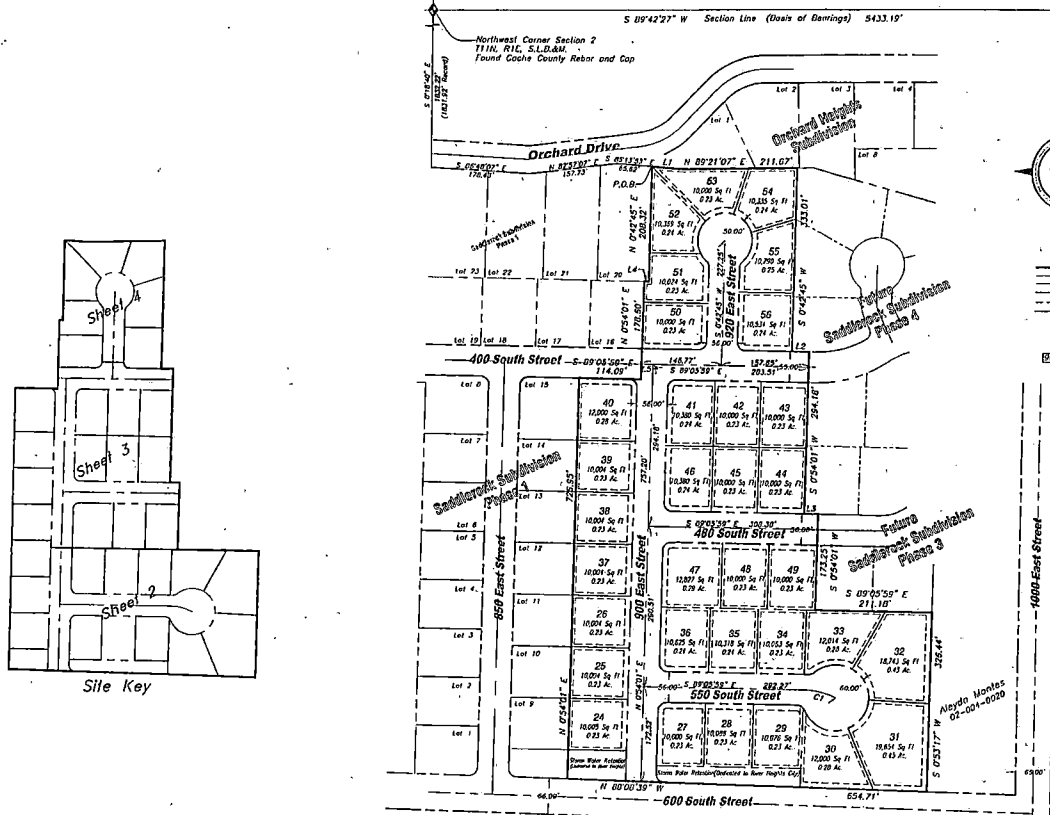


Dorrie Barnes
425 E 500 S
River Heights, UT

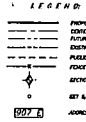
Cc: Kelina Heath

Saddlerock Subdivision Phase 2
 A PART OF THE NORTHWEST QUARTER OF SECTION 2, T11N, R1E, S.L.B.&M.
 RIVER HEIGHTS, CACHE COUNTY, UTAH

Northeast Corner Section 2
 T11N, R1E, S.L.B.&M.
 Found Cache County Great Cop. Mon.



Saddlerock Subdivision
 SCALE 1"=100'



PARCEL LINE DATA		
SEGMENT	DIRECTION	LENGTH
L1	S25°13'53"E	53.70'
L2	S89°05'59"E	36.56'
L3	S89°05'59"E	24.86'
L4	S89°05'59"E	0.28'
L5	S89°05'59"E	20.81'

PARCEL CURVE DATA				
SEGMENT	LENGTH	RADIUS	DELTA	CHORD LENGTH
C1	59.20'	124.15'	27°27'39"	58.83'

Owner/Developer: Don Hagan
 2 North Main #5
 Provo, Utah
 Phone: (435) 212-3239

SURVEYOR'S CERTIFICATE

I, JEFF C. WILSON, DO HEREBY CERTIFY THAT I AM A LICENSED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 5152061 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS HEREINAFTER TO BE KNOWN AS: SADDLEROCK SUBDIVISION PHASE 2 AND THE SAME HAS BEEN CORRECTLY SURVEYED AND ALL STREETS ARE THE DIMENSIONS SHOWN.

Subdivision Boundary

A PART OF THE NORTHWEST QUARTER OF SECTION 2, TOWNSHIP 11 NORTH, RANGE 1 EAST OF THE SALT LAKE BASE AND MERIDIAN, BEGINNING AT THE NORTHEAST CORNER OF SADDLEROCK SUBDIVISION PHASE 1 AND AT A POINT ON THE SOUTH LINE OF ORCHARD HEIGHTS SUBDIVISION LOCATED SOUTH OF 1640' EAST, A DISTANCE OF 1832.22 FEET AND SOUTH 88°40'07" EAST, A DISTANCE OF 178.43 FEET AND NORTH 82°37'07" EAST, A DISTANCE OF 157.73 FEET AND SOUTH 85°13'53" EAST, A DISTANCE OF 55.62 FEET FROM THE NORTHWEST CORNER OF SAID SECTION 2 AND RUNNING THENCE ALONG THE SAID SOUTH LINE THE FOLLOWING TWO (2) COURSES: (1) SOUTH 85°13'53" EAST, A DISTANCE OF 53.70 FEET; (2) NORTH 89°21'07" EAST, A DISTANCE OF 211.67 FEET; THENCE SOUTH 80°42'45" WEST, A DISTANCE OF 333.01 FEET; THENCE SOUTH 89°05'59" EAST, A DISTANCE OF 36.56 FEET; THENCE SOUTH 00°34'01" WEST, A DISTANCE OF 204.18 FEET; THENCE SOUTH 89°05'59" EAST, A DISTANCE OF 24.86 FEET; THENCE SOUTH 00°34'01" WEST, A DISTANCE OF 172.25 FEET; THENCE SOUTH 89°05'59" EAST, A DISTANCE OF 211.18 FEET; THENCE SOUTH 00°31'12" WEST, A DISTANCE OF 328.44 FEET TO THE NORTH RIGHT-OF-WAY LINE OF 600 SOUTH STREET; THENCE NORTH 89°05'59" WEST, A DISTANCE OF 658.71 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE TO THE EAST LINE OF SAID SADDLEROCK SUBDIVISION PHASE 1; THENCE ALONG SAID EAST LINE THE FOLLOWING FIVE (5) COURSES: (1) NORTH 00°34'01" EAST, A DISTANCE OF 276.95 FEET; (2) SOUTH 89°05'59" EAST, A DISTANCE OF 114.09 FEET; (3) NORTH 00°34'01" EAST, A DISTANCE OF 178.80 FEET; (4) SOUTH 89°05'59" EAST, A DISTANCE OF 8.20 FEET; (5) NORTH 00°34'01" EAST, A DISTANCE OF 200.13 FEET TO THE POINT OF BEGINNING, CONTAINING 11.299 ACRES AND 33 LOTS.

SIGNATURE _____ DATE _____

FORESIGHT SURVEYING

2005 North 600 West Suite D
 Logan, Utah 84321
 (435) 753-1910 Office
 (435)-755-3213 Fax

15-3 Saddlerock Phase 2

ACKNOWLEDGMENT

state of UTAH
 County of CACHE
 on this _____ day of _____, 2015, I, _____, personally appeared before me, the undersigned notary public in and for said county of Cache, in the state of Utah, the signers of the attached owners' dedication, _____, in numbers, who duly acknowledged to me they signed it freely and voluntarily and for the purpose therein mentioned.

NOTARY PUBLIC

ACKNOWLEDGMENT

state of UTAH
 County of CACHE
 on this _____ day of _____, 2015, I, _____, personally appeared before me, the undersigned notary public in and for said county of Cache, in the state of Utah, the signers of the attached owners' dedication, _____, in numbers, who duly acknowledged to me they signed it freely and voluntarily and for the purpose therein mentioned.

NOTARY PUBLIC

COUNTY SURVEYOR'S CERTIFICATE

I CERTIFY THAT I HAVE HAD THIS PLAT EXAMINED AND FIND THAT IT IS CORRECT AND IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE, AND FURTHER, IT MEETS THE MINIMUM STANDARDS FOR PLATS REQUIRED BY COUNTY ORDINANCE AND STATE LAW.

DATE _____ CACHE COUNTY SURVEYOR _____

COUNTY RECORDERS NO. _____

STATE OF UTAH, COUNTY OF CACHE, RECORDED AND FILED AT THE REQUEST OF: _____

DATE: _____ TIME: _____ FEE: _____

BOOK: _____

BY: _____ CACHE COUNTY RECORDER

MAYOR APPROVAL

PRESENTED TO THE RIVER HEIGHTS CITY MAYOR THIS _____ DAY OF _____, 2015, AT WHICH TIME THIS SUBDIVISION WAS APPROVED.

MAYOR _____ ATTEST _____

PLANNING COMMISSION APPROVAL

PRESENTED TO THE RIVER HEIGHTS PLANNING COMMISSION CHAIRMAN _____ THIS _____ DAY OF _____, 2015 AT WHICH TIME THIS SUBDIVISION WAS APPROVED.

BY: _____ CHAIRPERSON

CITY ENGINEERS CERTIFICATE

I CERTIFY THAT I HAVE EXAMINED THIS PLAT AND FIND IT TO BE IN ACCORDANCE WITH THE INFORMATION ON FILE ON FILE IN THIS OFFICE AND THE CITY ORDINANCE.

DATE _____ CITY ENGINEER _____

CITY ATTORNEY APPROVAL

APPROVED AS TO FORM THIS _____ DAY OF _____, 2015.

BY: _____ CITY ATTORNEY

OWNERS DEDICATION

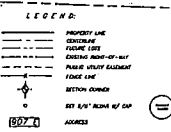
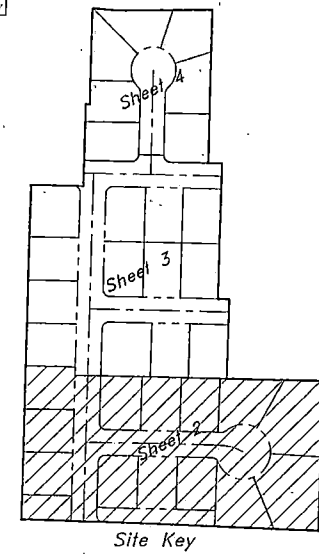
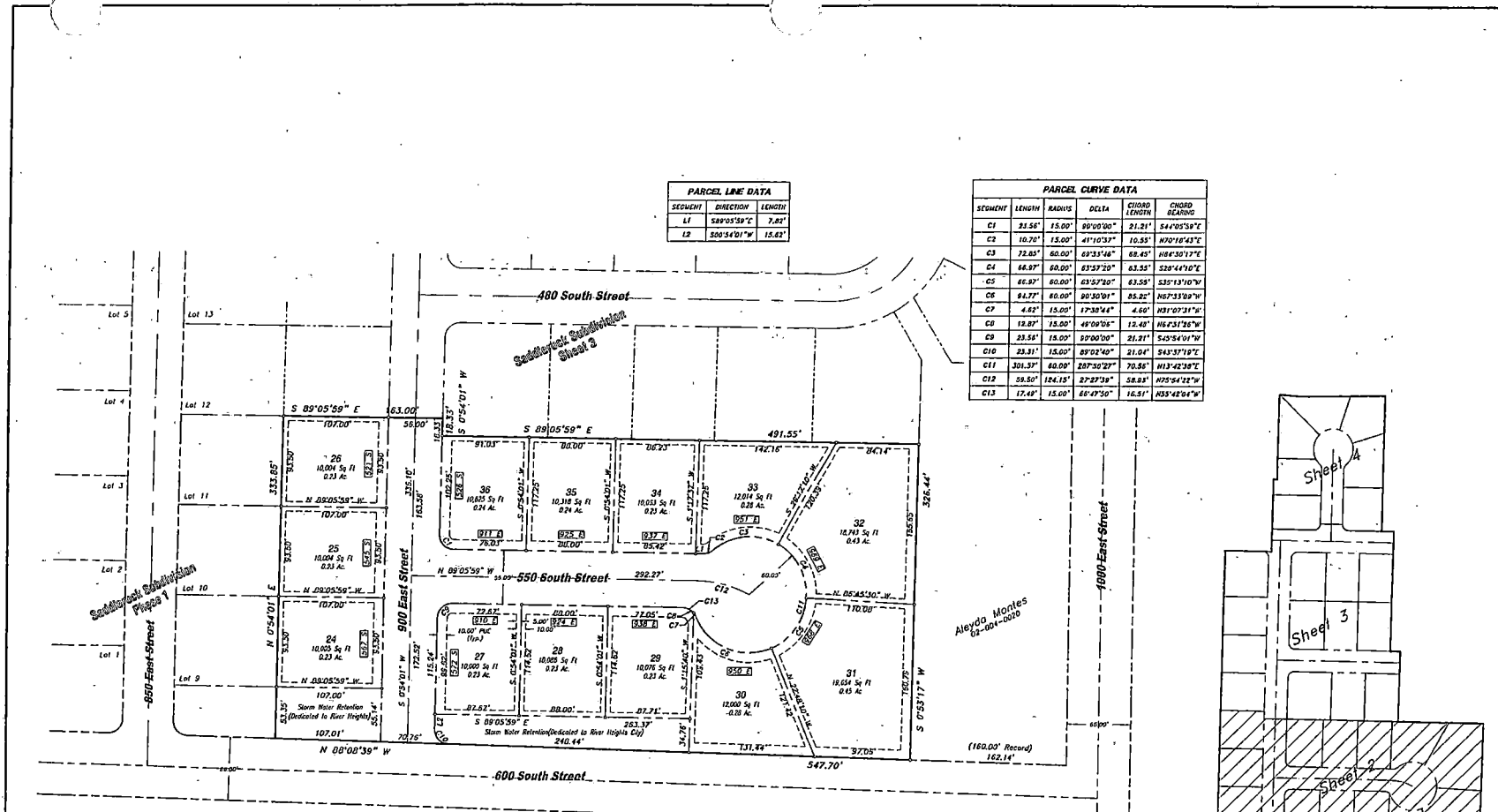
THE UNDERSIGNED, BEING ALL OWNERS OF RECORD OF THE ABOVE-DSCRIBED PARCELS OF LAND TO BE SUBDIVIDED AND KNOWN AS: SADDLEROCK SUBDIVISION PHASE 2 AND DO HEREBY DEDICATE THE STREETS AND PUBLIC AREAS SHOWN ON THIS PLAT FOR THE PERPETUAL USE OF THE PUBLIC AND DO HEREBY VEST THE FEE TITLE OF SAID DEDICATED PARCELS IN AND TO RIVER HEIGHTS CITY, CACHE COUNTY, UTAH.

_____ HAVE EXECUCED THIS PLAT AND DEDICATION THE _____ DAY OF _____, 2015.

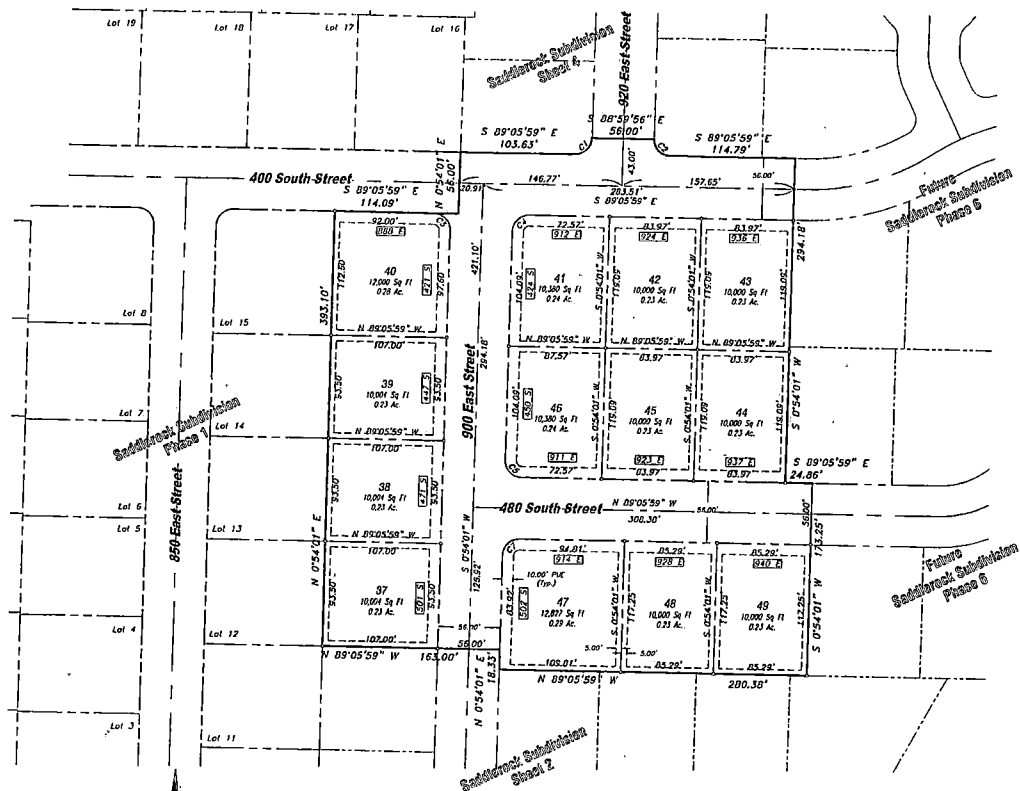
Sheet 1 of 4
Overall View

PARCEL LINE DATA		
SEGMENT	DIRECTION	LENGTH
L1	S 89°05'59" E	7.82'
L2	S 00°34'01" W	13.82'

PARCEL CURVE DATA					
SEGMENT	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	31.56'	15.00'	90°00'00"	21.21'	S 44°05'38"E
C2	10.70'	15.00'	41°10'37"	10.55'	N 70°18'43"E
C3	72.83'	80.00'	69°33'48"	68.45'	N 88°30'17"E
C4	66.87'	80.00'	83°27'20"	63.55'	S 28°44'10"E
C5	66.87'	80.00'	63°27'20"	63.55'	S 35°13'10"W
C6	81.77'	80.00'	90°30'01"	85.22'	N 67°33'09"W
C7	4.62'	15.00'	17°30'54"	4.60'	N 31°07'31"E
C8	13.87'	15.00'	49°00'00"	12.48'	N 44°31'26"W
C9	23.58'	15.00'	90°00'00"	23.51'	S 43°54'10"W
C10	23.81'	15.00'	89°02'40"	21.04'	S 43°37'19"E
C11	301.37'	80.00'	287°50'27"	70.56'	N 13°42'38"E
C12	58.30'	124.15'	27°27'38"	58.88'	N 75°54'12"E
C13	17.48'	15.00'	68°47'50"	16.51'	N 55°48'04"W



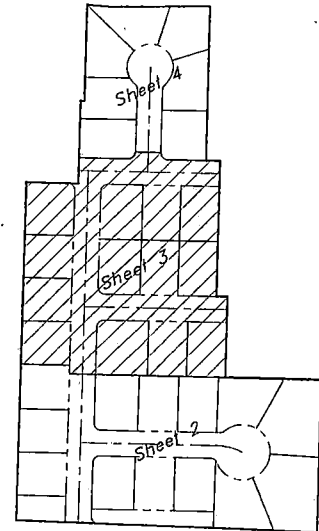
Drawn By: J.L. [Signature]	Scale: 1/4"=50'
Designed By: [Signature]	Checked By: [Signature]
Surveyed By: [Signature]	Surveyed On: 12-15-20
Surveyed For: J.E.S.S. [Signature]	Property No. 208 184828-1A-3
FORESIGHT Professional Land Surveying	
7055 North 600 West, Suite D Cotton, Utah, 84301 (435) 733-1970 Office	
Area 2 Encroachment	Sheet
Saddlerock Phase 2	2
River Heights City, Cache County, Utah	of
	4
	Sheets



Saddlerock Subdivision
SCALE 1"=50'

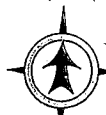
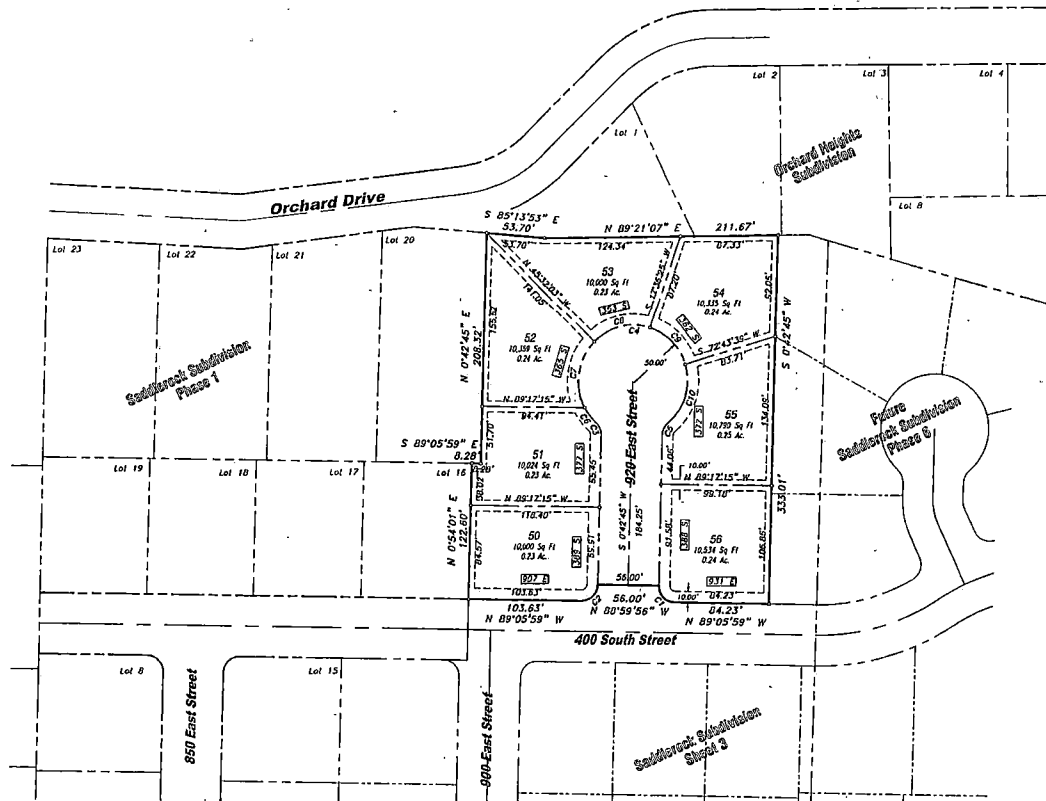
- LEGEND:**
- PROPERTY LINE
 - CONDUIT
 - FUTURE LOTS
 - FUTURE RIGHT-OF-WAY
 - FUTURE CITY PARKWAY
 - FUTURE VUE
 - BENCH MARK
 - UT 6" NESH 67 CAP
 - ADDRESS

PARCEL CURVE DATA					
SEGMENT	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	23.81'	15.00'	90°11'16"	21.25'	N45°40'23"E
C2	23.51'	15.00'	89°48'44"	21.18'	S44°11'37"E
C3	23.58'	15.00'	89°00'00"	21.21'	N44°03'39"W
C4	23.55'	15.00'	89°00'00"	21.21'	S43°54'01"W
C5	23.56'	15.00'	89°00'00"	21.21'	S44°03'39"E
C7	23.56'	15.00'	89°00'00"	21.21'	S43°54'01"W



Site Key

	FORESIGHT Professional Land Surveying									
Drawn By: <u> </u> Designed By: <u> </u> Checked By: <u> </u> Surveyed: <u> </u> Drawing File: <u> </u> Job Number: <u> </u>	2005 North 600 West Suite 0 Leppan, Utah 84301 (435) 733-9100 Office									
Area: <u> </u> Saddlerock Phase 2 River Heights City, Cache County, Utah	Sheet 3								of 4	Sheets

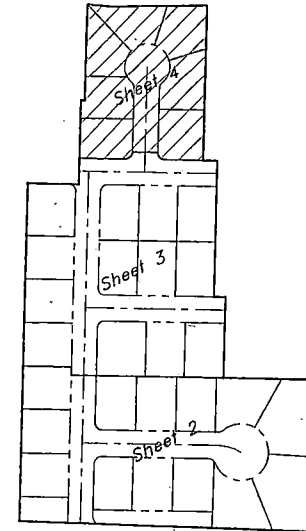


Saddlerock Subdivision
SCALE 1"=50'

LEGEND

- PROPERTY LINE
- CONCRETE CURB
- PAVED LOT
- CURB APPROACH
- PAVED DRIVEWAY
- DRIVE LINE
- LOT CORNER
- 1/2" 40' BENCH 1/2" 60'
- ADJACENT

PARCEL CURVE DATA					
SEGMENT	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
C1	23.51'	15.00'	89°48'44"	21.18'	N4°11'37"W
C2	23.61'	15.00'	90°11'16"	21.23'	S45°40'23"W
C3	12.72'	15.00'	48°34'50"	12.34'	N23°31'44"W
C4	241.07'	50.00'	277°09'53"	66.13'	N89°17'15"W
C5	12.72'	15.00'	48°34'50"	12.34'	S23°00'14"W
C6	16.79'	50.00'	18°14'42"	16.72'	N33°14'52"W
C7	63.78'	50.00'	73°02'20"	59.55'	N07°55'13"E
C8	55.10'	50.00'	63°08'20"	52.35'	N78°02'11"E
C9	48.10'	50.00'	55°07'14"	45.27'	S44°49'38"E
C10	52.09'	50.00'	68°34'03"	54.88'	S18°00'41"W



Site Key

No.	Date	By

FORESIGHT
Professional Land Surveying

Drawn By: JH Date: 11/12/2015
Designed By: JH
Approved By: JH
Sketch: L.S.
Drawing File: JCS-SR012-4
Job Number: 15-5

Area 4 Enlargement
Saddlerock Phase 2
River Heights City, Cache County, Utah

Sheet
4
of
4
Sheets

Revised

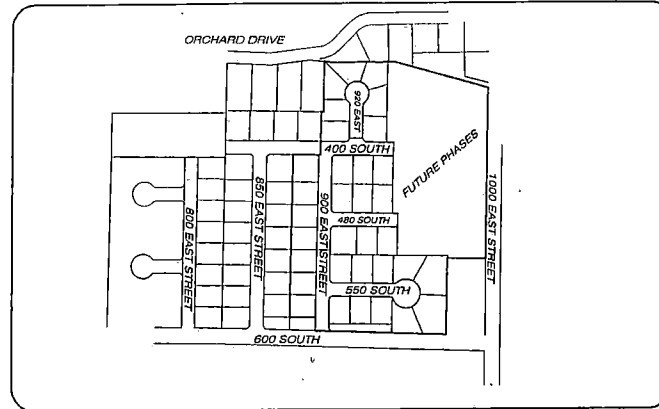
SADDLEROCK - PHASE 2

RIVER HEIGHTS,

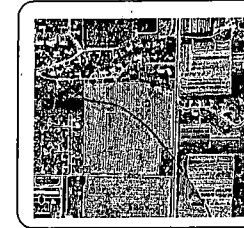
UTAH

LEGEND

	PROPOSED	EXISTING
SANITARY SEWER MANHOLE	●	○
SANITARY CLEANOUT	●	○
SANITARY SEWER	—	—
STORM MANHOLE	⊙	⊙
STORM SEWER	—	—
COMBINATION CURB INLET	⊞	⊞
CURB INLET	⊞	⊞
FIELD INLET-AREA DRUM	⊞	⊞
WATERMAIN & VALVE	⊞	⊞
WATER METER & SERVICE	⊞	⊞
WATERLINE BLOWOFF	⊞	⊞
FIRE HYDRANT	⊞	⊞
CONCRETE CURB	⊞	⊞
POWER POLE	⊞	⊞
BENCH MARK	⊞	⊞



VICINITY MAP



ENGINEER'S CERTIFICATE

I certify that I have examined and reviewed these plans and find that they are in accordance with the information on file at the River Heights City office.

Date _____ Engineer _____

SHEET INDEX

1. COVER SHEET
2. FINAL PLAN
3. STREET AND STORM SEWER PLAN
4. SANITARY SEWER AND WATER SYSTEM
5. ROAD PROFILES-1
6. ROAD PROFILES-2
7. ROAD PROFILES-3
8. UTILIZATION PLAN
9. IRRIGATION PROFILE
10. DETAIL SHEET - WATER AND STREETS
11. DETAIL SHEET - SEWER AND DRAINAGE
12. SWPPP PLAN

OWNER / DEVELOPER

FOXKIDGE DEVELOPMENT
2 N. MAIN #5
PROVIDENCE, UTAH 84332
PHONE



GENERAL NOTES

All transportation and site work shall be done in accordance with the Standard Specifications and the Construction Details of the City of River Heights and the 2012 APWA Standard Specifications and Details with APWA Amendments, except as noted below. If the Standards of the City, APWA, or details contained in these plans conflict, the more stringent standard will apply.

No work is to be commenced before all appropriate permits are obtained for the specific type of work to be performed. Please consult with this office or the local jurisdiction before work begins.

All construction within the City right-of-way shall be accompanied by a traffic control plan prior to any on-site activity. This plan is to include barricade type and location, as well as likely hours of operation.

All water and sanitary facilities and the installation thereof, shall follow the Standard Specifications of the City of River Heights with City inspection during construction. Please refer to City Standards for additional notes.

The Contractor shall install ADA pedestrian ramps and sidewalk where shown on the plans in accordance with the detail of the City of River Heights.

The Contractor shall maintain a minimum 10' horizontal and 18" vertical separation between existing and proposed water and sewer lines.

All pipe bedding and backfill material shall meet the applicable specifications in the City of River Heights standards. Before any native material is used, test results may be supplied to the City inspector upon request indicating that the material meets the specifications.

All sanitary sewer lines shall be concrete sewer pipe (C14-2) or P.V.C. pipe (A.S.I.M. D-3034) with flexible pipe bedding. The final "As-built" plan shall indicate which type of pipe material was installed.

All sanitary sewer laterals shall be P.V.C., 4" diameter, and installed to 10' behind the property line by the Contractor at the time the main lines are installed. The Contractor shall mark the end of each lateral with wire and a 2"x4" board marked with the lateral depth.

The Contractor is required to mark individual lot water service (w) locations and sewer lateral (s) locations on the curb during curb construction.

All water lines shall be C-900 PVC Class III-18 with a working pressure of 235 psi.

All catch basins, inlets and other places where wastes could be dumped into the storm sewer system shall be stenciled as follows:

"Please protect - drains to stream"

The Contractor shall provide 6" minimum vertical and 3' minimum horizontal clearance (outside surfaces) between storm drain pipes and other utility pipes and conduits. For crossing of sanitary sewer lines, the Utah Department of Ecology criteria apply.

Storm lines 15" and less in diameter shall be constructed of nonreinforced concrete pipe, C14-3, helical corrugated steel or aluminum pipe, 16 gauge minimum, or corrugated polyethylene pipe (H-12), MASH TO M294. Storm mains 18" and larger in diameter shall be constructed of reinforced concrete pipe, C76-II, spiral rib steel or aluminum pipe, 14 gauge minimum, or corrugated polyethylene pipe (H-12), MASH TO M294. Perforated storm mains shall be constructed with a minimum of one square inch of perforations per one inch diameter per linear foot of pipe.

The underground utilities shown on this plan were all that had been constructed at the time these plans were completed. Additional underground construction may have occurred before construction of this project was started. The Contractor, prior to commencing any excavation, shall provide notice of the scheduled excavation to all owners of underground facilities by calling "Dive Stakes" or similar one-call locating service. The notice shall be given to the owners of the facilities not less than two business days or more than ten business days before excavation.

In the event that there is a discrepancy in these plans and the actual field locations of existing utilities, the Contractor shall notify this office prior to performing the proposed connection or crossing.

The Contractor is responsible for all on-site erosion control. Every precaution should be taken to minimize the possibility of tracking mud and debris into the City roadway. This may require, but not be limited to, gravel construction entrances at City streets, wheel-wash areas, and properly placed silt fences, hay bales, and sediment traps.

It is the responsibility of the Contractor to perform all clean-up of the site and general area at the time the improvements are deemed complete.

All roadway materials and utility trench backfill material shall be compacted to 95% of Modified Proctor Density.

Job Number
12-001
Sheet
1 of 12

Rev. 6, 2015
As Spec
Scale
D.T.
Date of Issue
Rev. by

Revisions

COVER SHEET

SADDLEROCK - PHASE 2

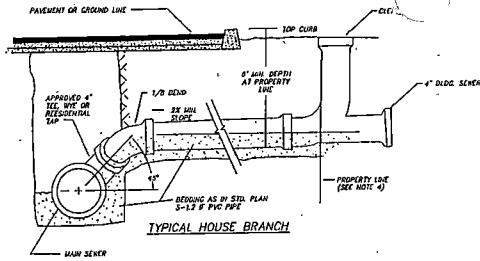
RIVER HEIGHTS, UTAH



Turner Design Engineering, Inc.
CIVIL ENGINEERING & LAND PLANNING
307 HARMOND LANE
PROVIDENCE, UT 84332
(801) 834-2805

LEGEND

	PROPOSED	EXISTING
SANITARY SEWER MANHOLE	●	○
SANITARY CLEANOUT	•	◦
SANITARY SEWER	—	- - -
STORM MANHOLE	⊙	⊚
STORM SEWER	- - -	- - -
CURB INLET	■	□
IRRIGATION STRUCTURE	■	□
WATERWAY & VALVE	■	□
WATER METER & SERVICE	↑	↑
WATERLINE BLOWOFF	↑	↑
FIRE HYDRANT	↑	↑
CONCRETE CURB	+	+
LIGHT POLE	+	+

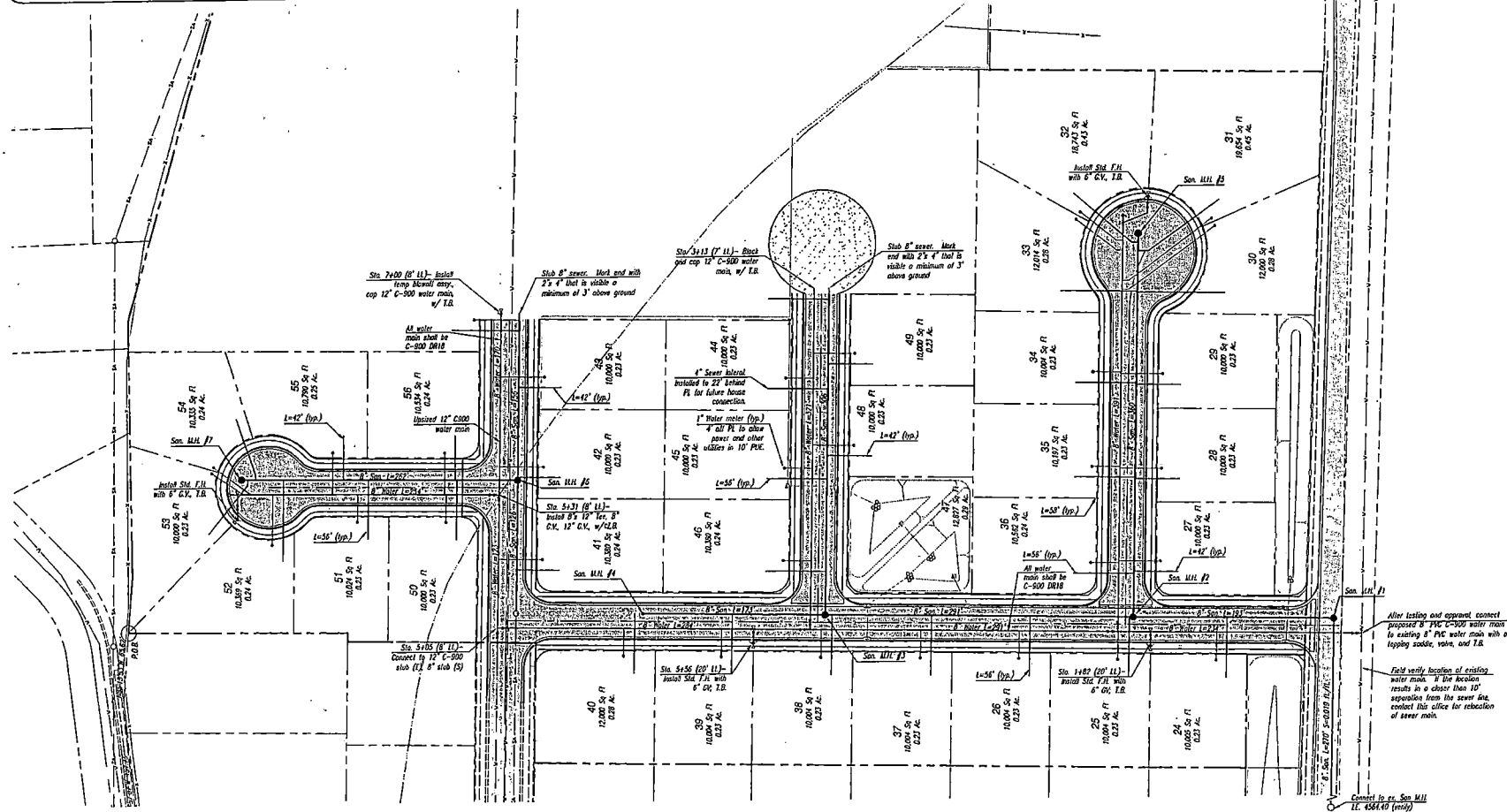
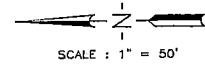


SERVICE LATERAL CONNECTIONS

NOTES

1. ALL SERVICE LATERALS SHALL BE 4" FOR SINGLE FAMILY DWELLINGS.
2. SERVICE LATERALS SHALL BE PLUGGED AS REQUIRED. SERVICE LATERALS SHALL BE CLEARLY MARKED ACCORDING TO THE STANDARD SPECIFICATIONS.
3. TRANSITIONS BETWEEN DIS-SIMILAR PIPE MATERIALS OR SIZES SHALL BE MADE WITH APPROVED ADAPTORS (FERROCO, CAULDER OR EQUAL).
4. IN NEW SUBDIVISIONS AND OTHER CONSTRUCTION INVOLVING NEW ROADS, INSTALL LATERALS TO 23 FEET BEHIND PROPERTY LINE FOR SEWERS IN STREET RIGHT-OF-WAY.
5. INSTALL TRACER WIRE OVER ALL LATERALS AND MAIN LINES PER STATE CODE.

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST REQUIREMENTS AND SPECIFICATIONS OF RIVER HEIGHTS CITY.



Job Number: 12-001
 Sheet: 4 of 12
 Date: 12/20/15
 Drawn by: [Name]
 Checked by: [Name]
 Approved by: [Name]

PROVISIONS

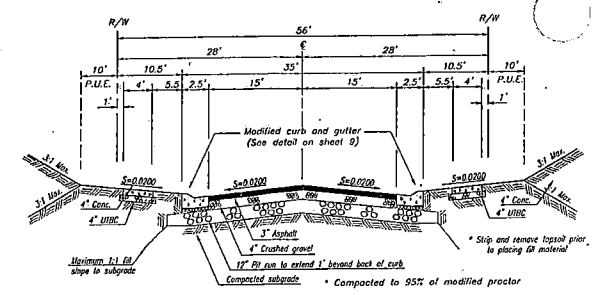
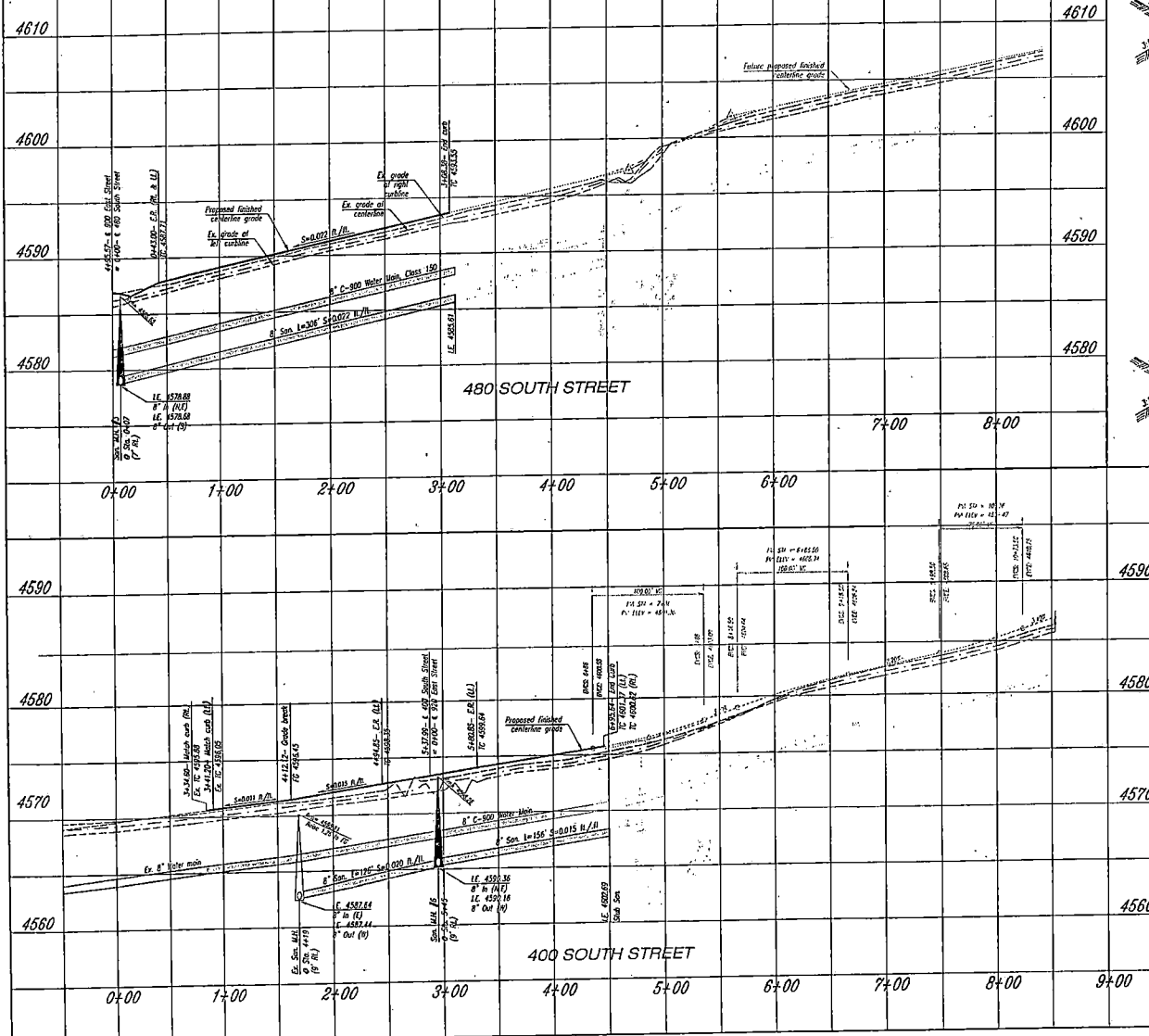
SANITARY SEWER AND WATER PLAN
SADDLEROCK - PHASE 2

UTAH
 RIVER HEIGHTS.

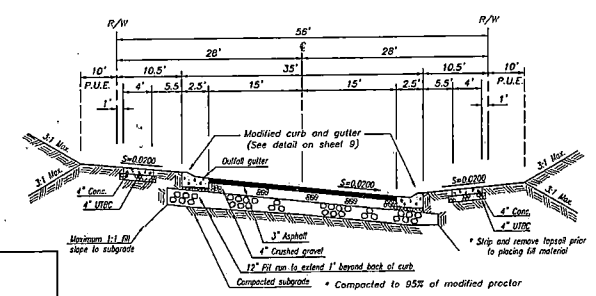
PROFESSIONAL ENGINEER STATE OF UTAH
 No. 31881
 DAN B. TURNER

Turner Design Engineering, Inc.
 CIVIL ENGINEERING & LAND PLANNING
 307 HAMMOND LANE
 PROVIDENCE, UT. 84332
 (801) 834-2806

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST REQUIREMENTS AND SPECIFICATIONS OF RIVER HEIGHTS CITY

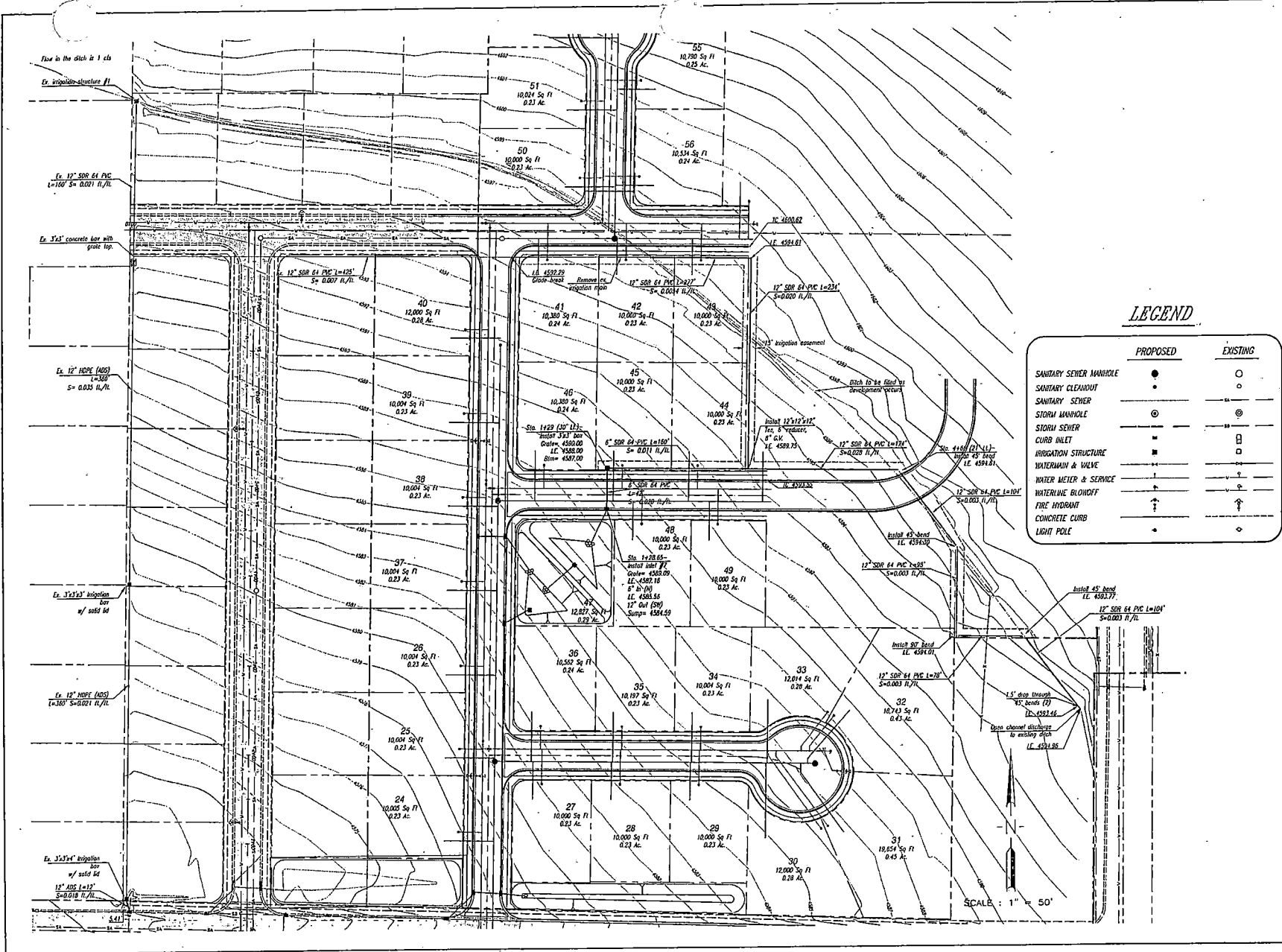


480 SOUTH STREET
NO SCALE



400 SOUTH STREET
NO SCALE

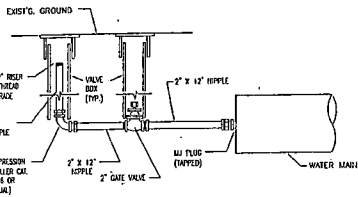
Job Number	12-001
Sheet	6 of 12
Scale	As Shown
Author	J.T.
Checker	J.T.
Drawn by	J.T.
Revisions	
ROAD PROFILES-2	
SADDLEROCK - PHASE 2	
UTAH	
RIVER HEIGHTS.	
<p>Turner Design Engineering, Inc. CIVIL ENGINEERING & LAND PLANNING 307 HAMMOND LANE, P.O. BOX 200 COVINGTONE, UT. 84302 (801) 834-2005</p>	



LEGEND

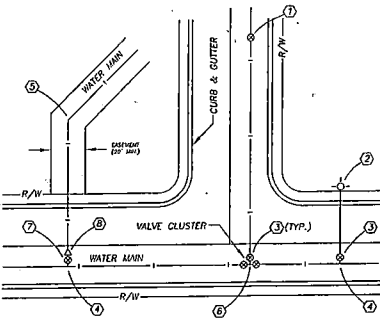
	PROPOSED	EXISTING
SANITARY SEWER MANHOLE	●	○
SANITARY CLEANOUT	●	○
SANITARY SEWER	—	—
STORM MANHOLE	⊙	⊙
STORM SEWER	—	—
CURB INLET	■	■
IRRIGATION STRUCTURE	■	□
WATERMETER & VALVE	+	+
WATERLINE BLOWOFF	+	+
FIRE HYDRANT	+	+
CONCRETE CURB	+	+
LIGHT POLE	+	+

SCALE : 1" = 50'

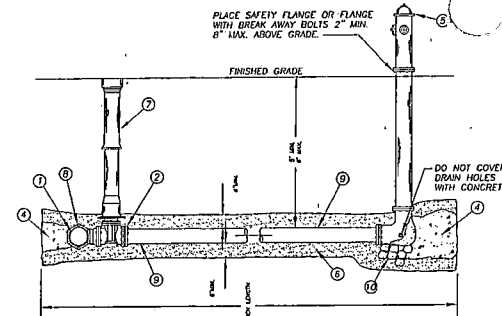


TEMPORARY WATER BLOWOFF
NO SCALE

NOTE: UNLESS OTHERWISE SPECIFIED, VALVES AND FITTINGS SHALL BE JOINED BY MEANS OF FLANGED CONNECTIONS AND/OR FITTINGS SHALL BE MECHANICAL JOINTS.

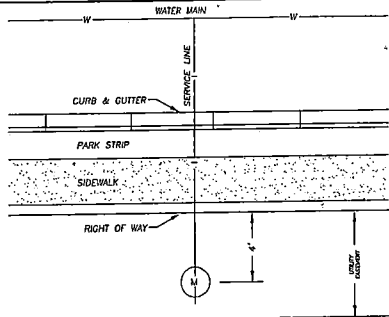


- TYPICAL END JOINT CONNECTIONS**
- ① - MECHANICAL JOINT GATE VALVE
 - ② - MECHANICAL JOINT FIRE HYDRANT
 - ③ - MECH. JOINT X FLANGED GATE VALVE
 - ④ - MECHANICAL JOINT X FLANGED TEE
 - ⑤ - MECHANICAL JOINT BEND
 - ⑥ - FLANGED TEE/CROSS
 - ⑦ - FLANGED GATE VALVE
 - ⑧ - MECH. JOINT X FLANGED ADAPTOR

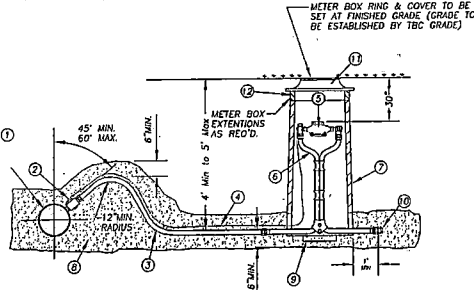


- NOTES:**
- HYDRANT LOCATION: HYDRANTS SHALL BE LOCATED AT THE STREET INTERSECTION OR AT THE LOT LINE BETWEEN ADJACENT PROPERTIES. THE HYDRANT SHALL BE INSTALLED SO THAT THE FACE OF THE STANDPIPE FLANGE IS LOCATED BEHIND THE STREET RIGHT OF WAY AND 2' MIN. AND 8" MAX. ABOVE FINISHED GRADE.
 - CUL-DE-SAC SERVICE LATERALS MUST FOLLOW THE MOST DIRECT ROUTE POSSIBLE BETWEEN TAPPING TEE AND HYDRANT.
 - SIZE ON SIZE TAPS REQUIRE A MUELLER TAPPING SLEEVE OR APPROVED EQUIVALENT.
 - INSTALL TRACER WIRE OVER LINES RUNNING FROM THE MAIN TO THE HYDRANT.
 - IN THE CASE OF A PLANTING STRIP, THE FIRE HYDRANT SHOULD BE PLACED AT MIDPOINT BETWEEN CURB AND SIDEWALK.
- MATERIAL LIST**
- WATER MAIN (PVC C-900)
 - FLANGE X M.J. GATE VALVE.
 - N/A
 - CONCRETE THRUST BLOCKING.
 - MUELLER MODERN CENTURION HYDRANT
 - TYPE 1A AGGREGATE BEDDING.
 - VALVE BOX.
 - FLANGE X M.J. TEE OR TAPPING SLEEVE.
 - FIRE HYDRANT SERVICE LINE LATERAL (DI CLASS 51)
 - 1" CLEAN DRAIN ROCK

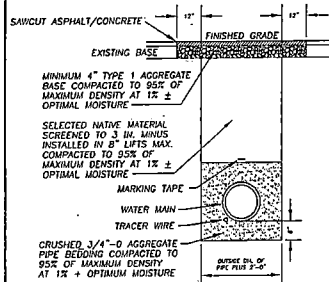
FIRE HYDRANT DETAIL
NO SCALE



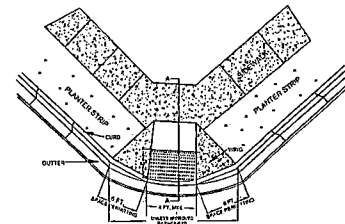
WATER METER DETAIL
NO SCALE



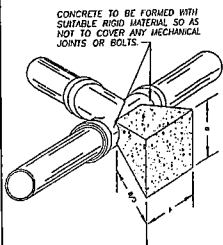
- MATERIAL LIST**
- WATER MAIN (C900 PVC)
 - CORPORATION STOP (SERVICE SADDLE)
 - SERVICE LINE (1" Poly)
 - PROVIDE DETECTABLE WARNING TAPE OR #12 TRACER WIRE FROM WATER MAIN TO METER BARREL.
 - 50 - 3/4" I.D. METER (SUPPLIED BY CITY, FORD V-70 SERIES)
 - ANGLE METER DUAL CHECK VALVE.
 - METER BARREL (24" WHITE ADS PIPE)
 - TYPE 1A AGGREGATE BEDDING.
 - 2' X 8' X 12" CONCRETE BLOCKS.
 - 1 IN. SOLDIER TYPE C/P.
 - GRASS LID AND RING.
 - METER BOX EXTENSION.



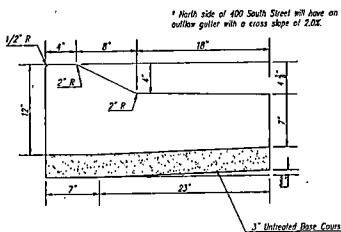
WATER TRENCH DETAIL
NO SCALE



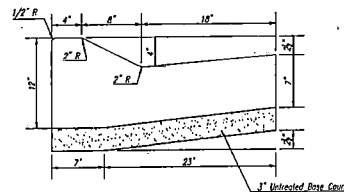
SIDEWALK RAMP DETAIL
NO SCALE



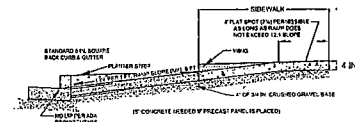
THRUST BLOCKING
NO SCALE



MODIFIED CURB AND CUTTER - OUTFALL
NO SCALE



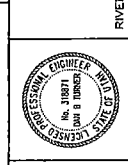
MODIFIED CURB AND CUTTER - STANDARD
NO SCALE



- NOTES:**
- TESTING R/W WITH A TRANSVERSE CROSS BRIDGE FROM R/W.
 - R/W SHALL BE TESTED WITH A CONCRETE BRIDGE FROM R/W.
 - R/W AND R/W GRACES NOT TO EXCEED 1/4" OR 3/32".
 - TRACER DOWN TO BE PLACED ACCORDING TO ADA. IF HANDS.
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Job Number
12-001
Date
12-21-2015
Drawn by
Checked by
Designed by
Scale
Sheet
10 of 12

DETAIL SHEET-1
SADDLEROCK - PHASE 2
UTAH
RIVER HEIGHTS.



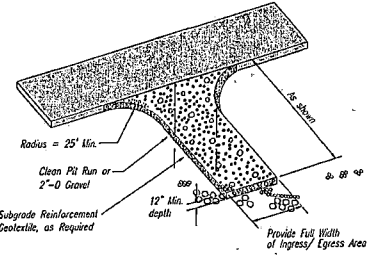
Turner Design Engineering, Inc.
CIVIL ENGINEERING & LAND PLANNING
307 HAMMOND LANE
PROVIDENCE, UT. 84332
(801) 634-2805

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST REQUIREMENTS AND SPECIFICATIONS OF RIVER HEIGHTS CITY.

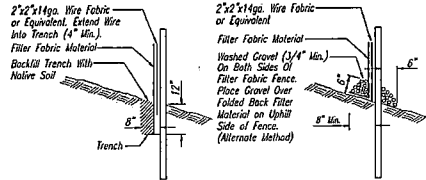
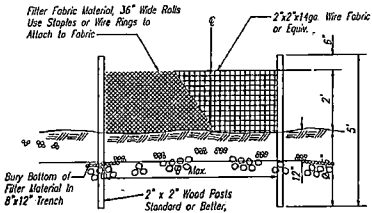
SCALE: 1" = 60'

EXISTING PHASE 1 (COMPLETED)

FUTURE PHASES

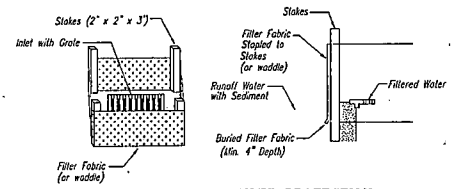


GRAVEL CONSTRUCTION ENTRANCE
NO SCALE



NOTE: Prefabricated Filter Fabric Fence Material (Cable Strength Filter Fabric) May Be Used With Prior Approval of the Engineer. 2' x 2' x 14 Ga. Wire Fabric can be Deleted if this Material is Used.

TEMPORARY SILT FENCE
NO SCALE



TEMPORARY CURB INLET PROTECTION
NO SCALE

Job Number	12-001
Rev. 21, 2015	Sheet
1" = 50'	D.T.
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SWPPP

SADDLEROCK - PHASE 2

UTAH

RIVER HEIGHTS.

Turner Design Engineering, Inc.
CIVIL ENGINEERING & LAND PLANNING
307 HAMMOND LANE
PROVIDENCE, UT. 84332
(801) 834-2805

April 6, 2015

Robert Davidsavor, Chairman
River Heights City Planning Commission
520 South 500 East
River Heights City, UT 84321

RE: Saddlerock Subdivision Phase 2 Final Plat Review

Dear Mr. Davidsavor,

The final plat for Saddlerock Subdivision Phase 2 has been reviewed for conformance with River Heights City Ordinance 11-4-3 C. - Final Plat Requirements. Comments on the plat are provided herein. Phase 2 as presented on the Final Plat, is a combination of phases 2, 3, and 4 as shown on the preliminary plat for the overall development. It should be noted that the review of Construction Drawings for Phase 2 is in process but not complete. The construction drawing review, with any revisions necessary by the developer's engineer will continue with notification provided to the City once drawings are provided in compliance with the City public improvements standards.

The following comments are noted as related to the Saddlerock Subdivision Phase 2 Final Plat:

1. Paragraph 2.b. of the ordinance requires setbacks be shown on the plat. The plat includes lots in two different residential zones with differing setback requirements. Whereas Setback requirements are a zoning issue and are reviewed as part of the Zoning Clearance for a building permit it is recommended that the setbacks not be shown on the plat. The Plat as presented is acceptable in this respect.
2. Lot 47 shown on the plat is to be dedicated to the City for storm water detention and will not be a buildable lot. The dedication should be reflected on the plant. The remaining lot numbers should be adjusted accordingly.
3. Paragraph 2.m. requires a statement on the plat that all expenses associated with the improvements or extensions of utilities shall be paid for by the developer (similar to Note 2 on the Phase 1 Final Plat).
4. As indicated on the preliminary plat, the 55 foot radius turnaround easement at the east end of 480 South Street should be included and shown on the plat.

It is the recommendation of the engineer that the Final Plat receive conditional approval from the Planning Commission with the condition that the above comments be addressed to the engineer's satisfaction. Prior to signing the final plat, the construction drawing review/approval will be completed, and a Development Agreement will be established with acceptable security of performance in place for the public improvements.

Please let me know if there are any questions related to the above noted comments or with respect to other items associated with this review.

Respectfully,

Craig L. Rasmussen

Craig L. Rasmussen, P.E.

River Heights City

From: ZZGRAVAR@aol.com
Sent: Monday, March 02, 2015 9:46 AM
To: rrdavid2001@yahoo.com
Cc: riverheightscity@comcast.net; bwright6158@msn.com; jbrackner@msn.com
Subject: Master Plan

March 2, 2015

Attention:
Rex Davidsavor
Chairman
River Heights City Planning and Zoning

Subject:
Old River Heights Church
443 S. 500 E.
River Heights, Utah

Rex,
As per our conversation and at the request of Blake Wright, I am writing this letter to request that the property where the Old River Heights Church now stands and the parking lot to the North be designated as park and added to the River Heights City parks system in the master plan that you are now working to complete.

Thanks you for your service to River Heights City.

Sincerely,

Dixie Wilson

River Heights City Councilman
435-752-6446

Cc: Sheila Lind, recorder
Cc: Blake Wright
Cc: Jim Brackner